

TRANSMITTAL

Tighe&Bond

Project No.: H-5016-018

Date: July 14, 2025

Re: North Greenbush Hannaford Supermarket & Pharmacy – Freezer Addition
Application for Site Plan Amendment Submission #2

To: Mark Lacivita, Planning Board Chair
Eric Cioffi, Building Inspector
Town of North Greenbush
2 Douglas Street,
Wynantskill, NY 12198

Copy: J M LORD

☐ FOR SIGNATURE ☐ FOR FILE ☐ AS REQUESTED ☒ FOR REVIEW ☐ PLEASE REPLY

NO. COPIES	DESCRIPTION
9	Site Plan Submission: <ul style="list-style-type: none">• Narrative/Letter• Concept Site Plan by Tighe & Bond, Revised June 2025 (Appendix A) (full sized plans)
1	<ul style="list-style-type: none">• Electronic copy of full submission

Please find all submission materials attached.

Very truly yours,

T&B Engineering and Landscape Architecture, P.C.



Arica McCarthy
Planner



H5016-018
July 14, 2025

Mark Lacivita, Planning Board Chair
Eric Cioffi, Building Inspector
Town of North Greenbush
2 Douglas Street
Wynantskill, NY 12198

Re: **North Greenbush Hannaford Supermarket & Pharmacy – Freezer Addition
Application for Site Plan Amendment Submission #2**

Dear Mr. Lacivita & Mr. Cioffi:

This letter is being provided on behalf of Martin's Foods of South Burlington, Inc., and Hannaford Bros. Co., LLC (Hannaford), regarding revisions made to the site plan amendment submission for the existing Hannaford store located at 40 Main Ave in the Town of North Greenbush, NY. During the Town's previous June 23, 2025, Planning Board meeting, it was requested that the site plan be updated to reflect specified Town code requirements.

As requested by the Town of North Greenbush Planning Board, the following site plan revisions were made as seen on the revised Concept Site Plan, dated July 1, 2025, see Appendix A.

- Pursuant to the Town of North Greenbush Site Plan Review Code §155-6(H):
"Adequacy of fire lanes and other emergency zones and the provision of fire hydrants."

The revised site plan depicts a minimum 3-foot offset of fire lane striping around the proposed freezer addition's west, south, and east sides.
- Pursuant to Town of North Greenbush Zoning Code §197-128(A):
"Parking spaces shall be nine feet by 18 feet."

Striping was offset on the east side of the freezer addition to a distance that allows the parking spaces to maintain a minimum width of 9 feet.
- Two dimensions were added to indicate the distance from the two south corners of the proposed freezer addition's limit of striping to the existing curb. These dimensions depict the proposed access aisle width.

It should be noted that we have followed up with Hannaford and confirmed that the freezer pod will enclose mechanical equipment for the freezer system and will not be used for food storage, thus store employee access to the pod will be extremely limited. The pod will be accessed periodically for maintenance. No loading will occur at the pod.

Tighe & Bond respectfully requests to be added to the agenda for the Monday, July 28, 2025, Planning Board meeting to review the application. If an application fee is required, please advise us of the fee amount and we will have the funds submitted to the Town.



We look forward to discussing this matter with you. Should you require any additional information or have questions regarding this submission, please contact me at BNelson@tighebond.com or (845) 516-5803 or my colleague Arica McCarthy at AMccarthy@tighebond.com or (845) 516-5804.

Very truly yours,

T&B Engineering and Landscape Architecture, P.C.



Brandee Nelson, PE, LEED AP
Vice President

Enclosures

Appendix A: Revised Concept Site Plan by Tighe & Bond, dated July 1, 2025

J:\H\H5016 Hannaford DelHaize (NY)\18 - N. Greenbush 8392\Permitting\PB - Freezer Remodel\Submission #2_07 14 2025\Planning Board Revisions Letter.docx

TOWN OF NORTH GREENBUSH, NY

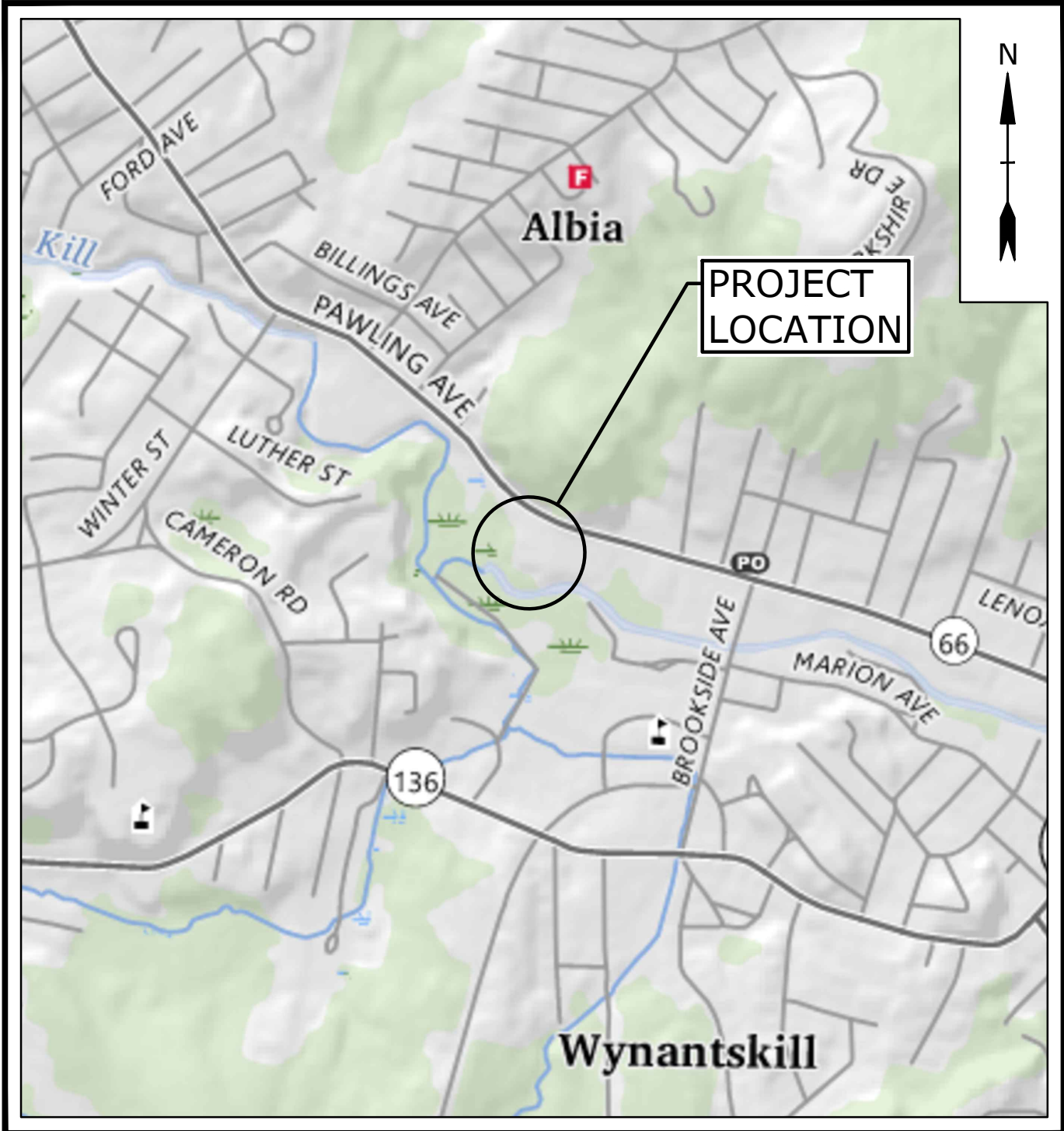
HANNAFORD STORE #8392



ISSUED FOR PERMITTING

JULY 2025

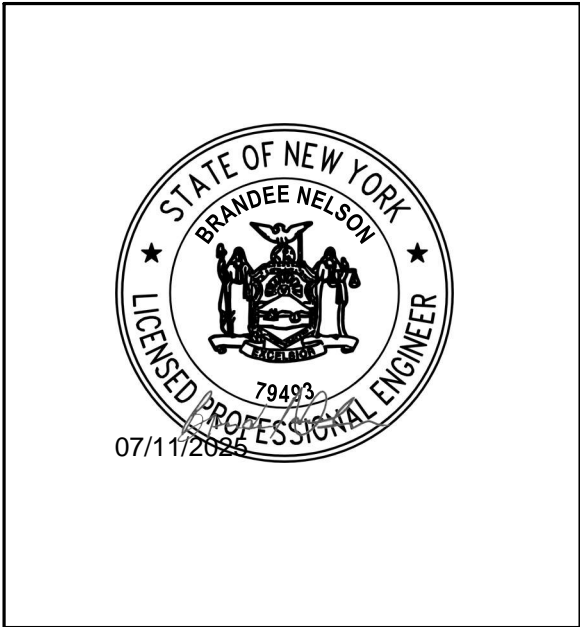
LIST OF DRAWINGS		
SHEET NO.	DRAWING NO.	DRAWING TITLE
1	G-001	COVER SHEET
2	C-001	GENERAL NOTES, LEGEND & ABBREVIATIONS
3	C-101	EXISTING CONDITIONS & SITE DEMOLITION PLAN
4	C-102	PROPOSED SITE PLAN
5	C-501	SITE DETAILS - 1



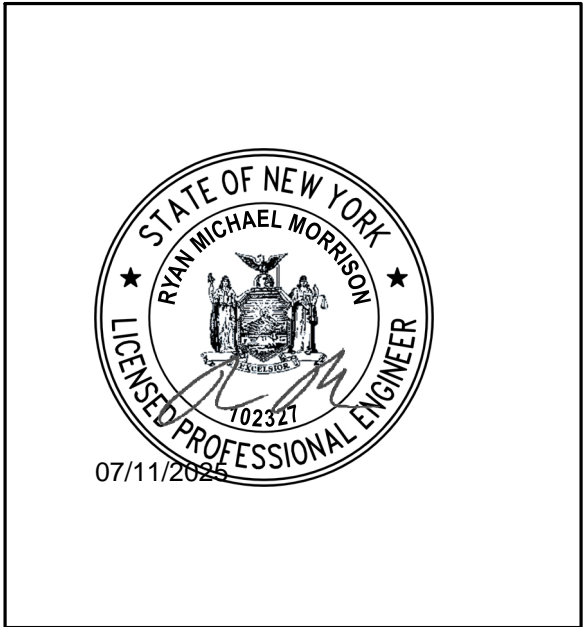
LOCATION MAP
SCALE: 1"=1000'

SOURCE: 2023 U.S.G.S. 7.5' TOPOGRAPHIC QUADRANGLE
SOUTH TROY, NEW YORK

PREPARED BY:
Tighe&Bond



BRANDEE NELSON, LEED AP



RYAN MORRISON, PE

PREPARED FOR:
**MARTIN'S FOOD OF SOUTH
BURLINGTON, LLC**

**TOWN OF NORTH GREENBUSH
PLANNING BOARD**
MARK LACIVITA, CHAIRPERSON
GREG DEJULIO
DAVID WILSON
MARY JUDE FOLEY
MARK AHERN

NOT FOR CONSTRUCTION
COMPLETE SET 5 SHEETS

LEGEND

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	----	
PROPERTY LINE ADJACENT	----	
INTERMEDIATE CONTOURS	----	
INDEX CONTOURS	---- 25 ----	
BUILDING PERIMETER	----	
BUILDING OVERHANG	----	
CURB	=====	
CONCRETE SIDEWALK	----	
CHAIN LINK FENCE	×××××	
METAL BEAM GUIDERAIL	□□□□□	□□□□□
FOUNDATION DRAIN		UD
STORM DRAIN STRUCTURES	MANHOLE CATCH BASIN ROOF LEADER	
SANITARY SEWER STRUCTURES	MANHOLE WASTE OIL	
WATER SERVICE STRUCTURES	HYDRANT	
MISCELLANEOUS STRUCTURES	SITE LIGHT BOLLARD	
TREELINE	~~~~~	
TREE	EVERGREEN DECIDUOUS	

LEGEND

RESOURCE AREAS	
WETLAND BOUNDARY	▲▲▲▲▲
FLOODPLAIN	=====
EDGE OF WATER	----

ABBREVIATIONS

ADA	AMERICAN DISABILITY ACT
GALV	GALVANIZED
HMA	HOT MIX ASPHALT
MISC	MISCELLANEOUS
N/F	NOW OR FORMERLY
REQ	REQUIRED
SCH	SCHEDULE
TYP	TYPICAL

BASE PLAN NOTES

- THE EXISTING CONDITIONS INFORMATION SHOWN ON THE DRAWINGS IS BASED ON THE FOLLOWING:
 - DRAWINGS TITLED "PROPOSED SHOP N' SAVE", PREPARED BY THE LA GROUP AND DATED MARCH 4, 1994, REVISED MARCH 25, 1994
 - NYSGIS CLEARINGHOUSE ORTHO IMAGERY DATED 2024
 - LIMITS OF BORDERING LAND SUBJECT TO FLOODING (BLSF), THE 100-YEAR FLOOD ZONE, ARE BASED ON THE FEMA FLOOD INSURANCE STUDY (FIS) FOR RENSSELAER COUNTY, COMMUNITY NUMBER 361164 EFFECTIVE DATE DECEMBER 1979 AND FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NUMBER 361164 0002 A, EFFECTIVE DATE JUNE 18, 1980
 - LIMITS OF STATE AND FEDERAL WETLANDS SHOWN ON THIS DRAWING BASED ON RECORD DRAWING TITLED "PROPOSED SHOP N' SAVE", PREPARED BY THE LA GROUP AND DATED MARCH 4, 1994, REVISED MARCH 25, 1994
 - NYSGIS CLEARINGHOUSE LIDAR DATA DATED 2024
- THE ACCURACY AND COMPLETENESS OF SUBSURFACE INFORMATION (E.G., EXISTING UTILITIES) SHOWN ON THESE DRAWINGS IS NOT GUARANTEED AND SOME SUBSURFACE INFORMATION MAY NOT BE SHOWN.
- THE DRAWINGS ARE BASED ON THE FOLLOWING DATUMS: HORIZONTAL-NYS83-EF ; VERTICAL-NAVD88 (GEOID18)
- THE EXISTING CONDITIONS SHOWN ARE APPROXIMATE. FIELD VERIFY EXISTING CONDITIONS.
- THE PROPERTY LINES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND ARE NOT BASED ON DEED OR PLAN RESEARCH.

GENERAL NOTES

- NOTIFY UDIG AT 1-800-962-7962 AND OTHER UTILITY OWNERS IN THE AREA NOT ON THE UDIG LIST AT LEAST 72 HOURS PRIOR TO ANY DIGGING, TRENCHING, ROCK REMOVAL, DEMOLITION, BORING, BACKFILLING, GRADING, LANDSCAPING, OR ANY OTHER EARTH MOVING OPERATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR SUPPORT OF EXISTING UTILITIES AND REPAIR OR REPLACEMENT COSTS OF UTILITIES DAMAGED DURING CONSTRUCTION, WHETHER ABOVE OR BELOW GRADE. REPLACE DAMAGED UTILITIES IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER AND AT NO COST TO THE PROPERTY OWNER
- NOT ALL OF THE UTILITY SERVICES TO BUILDINGS ARE SHOWN. THE CONTRACTOR SHALL ANTICIPATE THAT EACH PROPERTY HAS SERVICE CONNECTIONS FOR THE VARIOUS UTILITIES.
- BOLD TEXT AND LINES INDICATE PROPOSED WORK. LIGHT TEXT AND LINES INDICATE APPROXIMATE EXISTING CONDITIONS.
- TIGHE & BOND ASSUMES NO RESPONSIBILITY FOR ANY ISSUES, LEGAL OR OTHERWISE, RESULTING FROM CHANGES MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM TIGHE & BOND.
- NOTIFY THE ENGINEER OF ANY UTILITIES IDENTIFIED DURING CONSTRUCTION THAT ARE NOT SHOWN ON THE DRAWINGS OR THAT DIFFER IN SIZE OR MATERIAL.
- THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY; COORDINATION WITH THE OWNER, ALL SUBCONTRACTORS, AND WITH OTHER CONTRACTORS WORKING WITHIN THE LIMITS OF WORK, THE MEANS AND METHODS OF CONSTRUCTING THE PROPOSED WORK.
- OBTAIN, PAY FOR AND COMPLY WITH PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK. ARRANGE AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE JURISDICTIONAL AUTHORITIES.
- SHORE UTILITY TRENCHES WHERE FIELD CONDITIONS DICTATE AND/OR WHERE REQUIRED BY LOCAL, STATE AND FEDERAL HEALTH AND SAFETY CODES.
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS ARE OBSERVED THAT VARY SIGNIFICANTLY FROM THOSE SHOWN ON THE DRAWINGS, IMMEDIATELY NOTIFY THE ENGINEER IN WRITING FOR RESOLUTION OF THE CONFLICTING INFORMATION.
- PROTECT AND MAINTAIN ALL UTILITIES IN THE AREAS UNDER CONSTRUCTION DURING THE WORK. LEAVE ALL PIPES AND STRUCTURES WITHIN THE LIMITS OF THE CONTRACT IN A CLEAN AND OPERABLE CONDITION AT THE COMPLETION OF THE WORK. TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SAND AND SILT FROM DISTURBED AREAS FROM ENTERING THE DRAINAGE SYSTEM.
- NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICT, ERROR, AMBIGUITY, OR DISCREPANCY WITH THE PLANS OR BETWEEN THE PLANS AND ANY APPLICABLE LAW, REGULATION, CODE, STANDARD SPECIFICATION, OR MANUFACTURER'S INSTRUCTIONS.
- EXCAVATE WITH EQUIPMENT SELECTED TO MINIMIZE DAMAGE TO EXISTING UTILITIES OR OTHER FACILITIES. HAND EXCAVATE AS NECESSARY TO LOCATE UTILITIES AND AVOID DAMAGE.
- TAKE NECESSARY MEASURES AND PROVIDE CONTINUOUS BARRIERS OF SUFFICIENT TYPE, SIZE, AND STRENGTH TO PREVENT ACCESS TO ALL WORK AND STAGING AREAS AT THE COMPLETION OF EACH DAYS WORK.
- NO OPEN TRENCHES WILL BE ALLOWED OVER NIGHT. THE USE OF ROAD PLATES TO PROTECT THE EXCAVATION WILL BE CONSIDERED UPON REQUEST, BUT BACKFILLING IS PREFERRED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL/SAFETY DEVICES TO ENSURE SAFE VEHICULAR AND PEDESTRIAN ACCESS THROUGH THE WORK AREA, OR FOR SAFELY IMPLEMENTING DETOURS AROUND THE WORK AREA.
- MAINTAIN EMERGENCY ACCESS TO ALL PROPERTIES WITHIN THE PROJECT AREA AT ALL TIMES DURING CONSTRUCTION.
- REMOVE AND DISPOSE OF ALL CONSTRUCTION-RELATED WASTE MATERIALS AND DEBRIS IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS.
- THE TERM "DEMOLISH" USED ON THE DRAWINGS MEANS TO REMOVE AND DISPOSE OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- THE TERM "ABANDON" USED ON THE DRAWINGS MEANS TO LEAVE IN PLACE AND TAKE APPROPRIATE MEASURES TO DECOMMISSION AS SPECIFIED OR NOTED ON THE DRAWINGS.
- ALL PROPOSED WORK MAY BE ADJUSTED IN THE FIELD BY THE OWNER'S PROJECT REPRESENTATIVE TO MEET EXISTING CONDITIONS.

SITE DEMOLITION NOTES

- EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES SEE SHEET C-102.
- CONFORM TO TOWN OF NORTH GREENBUSH, NY CODE FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, RUNOFF CONTROL, AND DISPOSAL.
- OBTAIN REQUIRED PERMITS FROM FEDERAL, STATE, AND TOWN OF NORTH GREENBUSH AUTHORITIES AND PROVIDE COPIES TO OWNER AND ENGINEER PRIOR TO START OF WORK.
- FIRE-PREVENTATIVE FACILITIES AND WATER SERVICE TO ALL FIRE HYDRANTS SHALL BE CONTINUOUSLY MAINTAINED AND PROTECTED UNLESS PRIOR WRITTEN AUTHORIZATION IS OBTAINED FROM THE CHIEF OF THE FIRE DEPARTMENT.
- DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, OR HYDRANTS WITHOUT PERMITS.
- CONFORM TO APPLICABLE REGULATORY PROCEDURES WHEN DISCOVERING HAZARDOUS OR CONTAMINATED MATERIALS AND NOTIFY OWNER IMMEDIATELY.
- COORDINATE UTILITY DEMOLITION WITH SITE DEMOLITION, BUILDING DEMOLITION, AND HAZARDOUS MATERIALS ABATEMENT PLANS PREPARED BY OTHERS.
- PRIOR TO BEGINNING DEMOLITION, VERIFY THAT ALL UTILITIES SERVING THE BUILDING TO BE DEMOLISHED HAVE BEEN DISCONNECTED OR ARE PROTECTED.
- DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED ON PLANS.
- ALL MATERIALS SCHEDULED TO BE REMOVED BECOMES THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. AT REGULAR INTERVALS, REMOVE FROM THE SITE ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS AND LEGALLY DISPOSE OF OFF THE SITE. STORAGE OR SALE OF DEMOLISHED MATERIALS TO BE REMOVED WILL NOT BE PERMITTED ON THE SITE. GRADE DISPOSAL AREAS TO ADJACENT CONTOURS AND SLOPE TO DRAIN.
- ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION / DEMOLITION ACTIVITIES MUST BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THEY MUST EMPLOY A NEW YORK STATE LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
- PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- BACKFILL TRENCHES WHERE PIPES ARE REMOVED USING COMMON FILL OR APPROVED ON-SITE MATERIAL. PLACE AND COMPACT IN 6 INCH LIFTS. REOPEN AND REFILL / RECOMPACT ANY IMPROPERLY BACKFILLED TRENCHES WHERE SETTLEMENT OCCURS, TO THE DEPTH REQUIRED TO CORRECT THE PROBLEM, AT NO ADDITIONAL COST TO THE OWNER.

SURFACE RESTORATION NOTES

- ALL PAVEMENT DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- PROVIDE SITE GRADING AT ACCESSIBLE SIDEWALK RAMPS, SIDEWALKS, AND BUILDING ENTRANCES TO BE CONSISTENT WITH THE RELEVANT ACCESS REQUIREMENTS OF THE ARCHITECTURAL BARRIERS ACT (ABA) AND THE AMERICANS WITH DISABILITIES ACT (ADA). SMALL CHANGES IN GRADE OVER RELATIVELY SHORT DISTANCES (E.G. AT PARKING SPACES, ACCESSIBLE ROUTES, AND RAMPS) MIGHT NOT BE CLEARLY DEPICTED WITHIN THE CONTOUR INTERVAL SHOWN. COMPLY WITH THE CRITERIA IN THESE STANDARDS. SELECT MAXIMUM SLOPE CRITERIA ARE REPRODUCED BELOW:
 - ACCESSIBLE PARKING STALL AND PASSENGER LOADING ZONE (ANY DIRECTION) SLOPE < 2.0%
 - LONGITUDINAL SLOPE ALONG ACCESSIBLE ROUTES < 5.0%
 - CROSS SLOPE ALONG ACCESSIBLE ROUTES < 2.0%
- PROTECT PROJECT FEATURES (E.G., WALLS, FENCES, MAIL BOXES, SIGNS, SIDEWALKS, CURBING, STAIRS, WALKWAYS, TREES, ETC.) FROM DAMAGE DURING CONSTRUCTION, INCLUDING PROVIDING TEMPORARY SUPPORTS, WHEN APPROPRIATE.
- IF REMOVAL OF PROJECT FEATURES IS REQUIRED IN ORDER TO PERFORM THE PROPOSED WORK, REMOVE THOSE SITE FEATURES ONLY UPON APPROVAL OF ENGINEER. REPLACE ALL REMOVED PROJECT FEATURES; NEW ITEMS SHALL BE EQUAL OR BETTER IN QUALITY AND CONDITION TO THE ITEMS REMOVED.
- EXISTING SURVEY MONUMENTS DISTURBED BY THE CONTRACTOR SHALL BE REPLACED BY A LAND SURVEYOR LICENSED IN THE STATE IN WHICH THE WORK IS PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE THE ADJUSTMENT OF EXISTING UTILITY STRUCTURES WITH EACH RESPONSIBLE UTILITY OWNER PRIOR TO RECONSTRUCTION AND/OR PAVING OPERATIONS. RAISE ALL STRUCTURES TO FINISHED GRADES PRIOR TO THE END OF THE CONSTRUCTION SEASON AND PRIOR TO FINISHED PAVING.
- TRANSFER ALL TEMPORARY BENCHMARKS, AS NECESSARY.
- RESTORE ALL AREAS DISTURBED BY THE CONTRACTOR TO ORIGINAL CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- REGRADE ALL UNPAVED AREAS DISTURBED BY THE WORK AS REQUIRED. REPAIR/REPLACE PAVED SURFACES DISTURBED BY THE WORK IN-KIND, UNLESS OTHERWISE NOTED. RESTORE SURFACES TO EXISTING OR PROPOSED CONDITIONS AS INDICATED ON THE DRAWINGS.
- PROVIDE A SMOOTH, FLUSH TRANSITION (LESS THAN 1/4") BETWEEN ALL NEW AND EXISTING PAVEMENTS AND WALKING SURFACES.

PHASING NOTES

- PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL, AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TO NOT IMPACT SERVICES & CIRCULATION TO ABUTTERS.
- COORDINATE WITH THE OWNER TO ENSURE TRUCK CARRYING DAILY SHIPMENTS HAVE ACCESS TO LOADING DOCKS DURING THEIR INTENDED TIME OF DELIVERY.
- PROVIDE TEMPORARY PARTITIONING, BARRICADING, FENCING, DETOUR SIGNAGE, SECURITY AND SAFETY DEVICES REQUIRED FOR MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.

CONSTRUCTION NOTES

- CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND PROTECTION OF TRAFFIC DURING CONSTRUCTION ACTIVITIES. WORK SHALL BE COORDINATED WITH HANNAFORD REPRESENTATIVES AND THE STORE MANAGER.
- ALL MATERIALS SCHEDULED TO BE REMOVED BECOMES THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES, AND CODES.

Tighe&Bond



ISSUED FOR
PERMITTING
NOT FOR
CONSTRUCTION

NORTH
GREENBUSH
HANNAFORD
STORE #8392

MARTIN'S FOOD
OF SOUTH
BURLINGTON,
LLC

N. GREENBUSH, NY

SERVICES PROVIDED IN NEW YORK
BY T&B ENGINEERING AND
LANDSCAPE ARCHITECTURE, P.C.

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1	7/1/2025	PLANNING BOARD REVISIONS
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MARK	DATE	DESCRIPTION
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		DATE: 6/3/2025
		FILE: H5016-18 Permit Set.dwg
		DRAWN BY: R.KAPPELLER
		DESIGNED BY: R.SASSER
		CHECKED BY: R.MORRISON
		APPROVED BY: B.NELSON

GENERAL NOTES, LEGEND &
ABBREVIATIONS

SCALE: NO SCALE

C-001
SHEET 2 OF 5



ISSUED FOR
PERMITTING
NOT FOR
CONSTRUCTION

**NORTH
GREENBUSH
HANNAFORD
STORE #8392**

MARTIN'S FOOD OF SOUTH
BURLINGTON,
LLC

N. GREENBUSH, NY

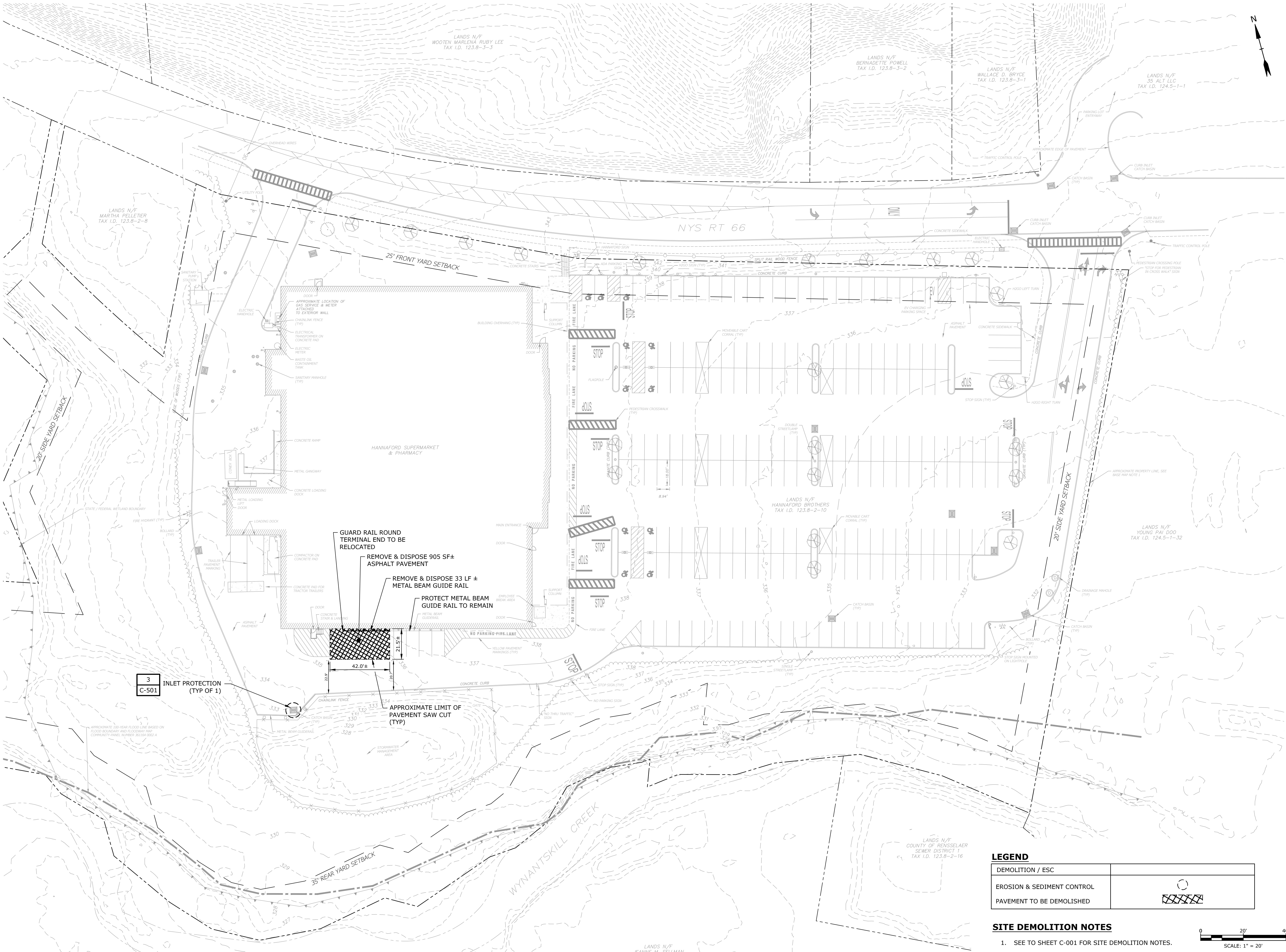
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APPROVED BY:	B.NELSON	

EXISTING CONDITIONS &
SITE DEMOLITION PLAN

SCALE: AS SHOWN

C-101
SHEET 3 OF 5

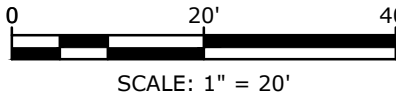


LEGEND

DEMOLITION / ESC	
EROSION & SEDIMENT CONTROL	
PAVEMENT TO BE DEMOLISHED	

SITE DEMOLITION NOTES

1. SEE TO SHEET C-001 FOR SITE DEMOLITION NOTES.



**NORTH
GREENBUSH
HANNAFORD
STORE #8392**

N. GREENBUSH, NY

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BY T&B ENGINEERING AND
LANDSCAPE ARCHITECTURE, P.C.

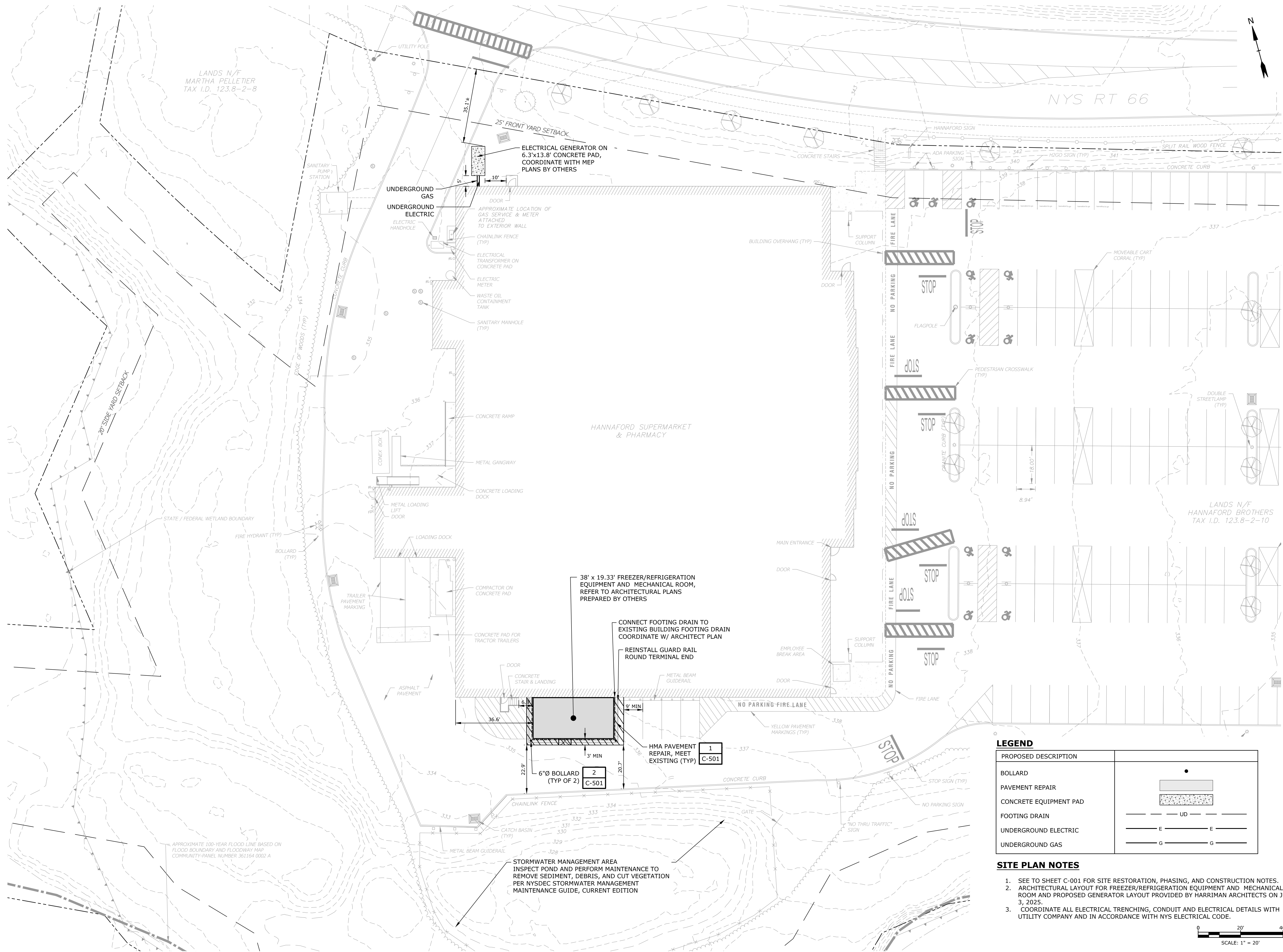
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APPROVED BY:		B.NELSON

PROPOSED SITE PLAN

SCALE:	AS SHOWN
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C-102
SHEET 4 OF 5



Last Saved: 7/11/2025
 Plotted On: Jul 11, 2025-11:12am By: KSumberac
 Title & Bond: J:\H45016 Hannaford DelHaize (NY) 18 - N. Greenbush 8392\Drawings_Figures\AutoCAD\Sheet\H5016-18 Permit Set.dwg

Last Saved: 7/11/2025
Plotted On: Jul 11, 2025-11:12am By: KSumbe
Tighe & Bond.: H\H5016 Hannafo DelHaize (NY



ISSUED FOR
PERMITTING
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NORTH
GREENBUSH
HANNAFORD
STORE #8392

MARTIN'S FOOD
OF SOUTH
BURLINGTON,
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N. GREENBUSH, NY

SERVICES PROVIDED IN NEW YORK
BY T&B ENGINEERING AND
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1	7/1/2025	PLANNING BOARD REVISIONS
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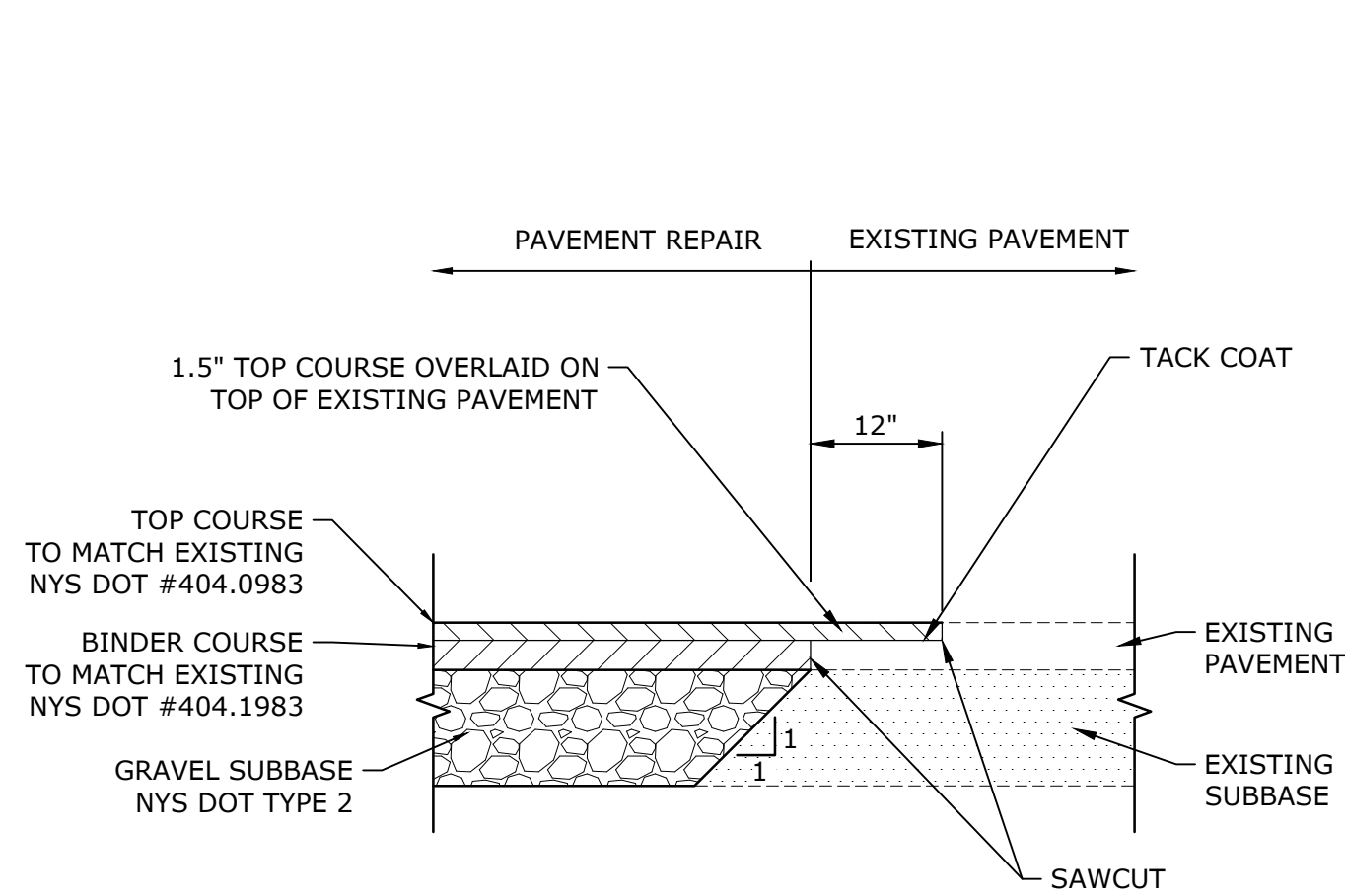
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DESIGNED BY:	R.SASSER
CHECKED BY:	R.MORRISON
APPROVED BY:	B.NELSON

SITE DETAILS - 1

SCALE: AS SHOWN

C-501
SHEET 5 OF 5

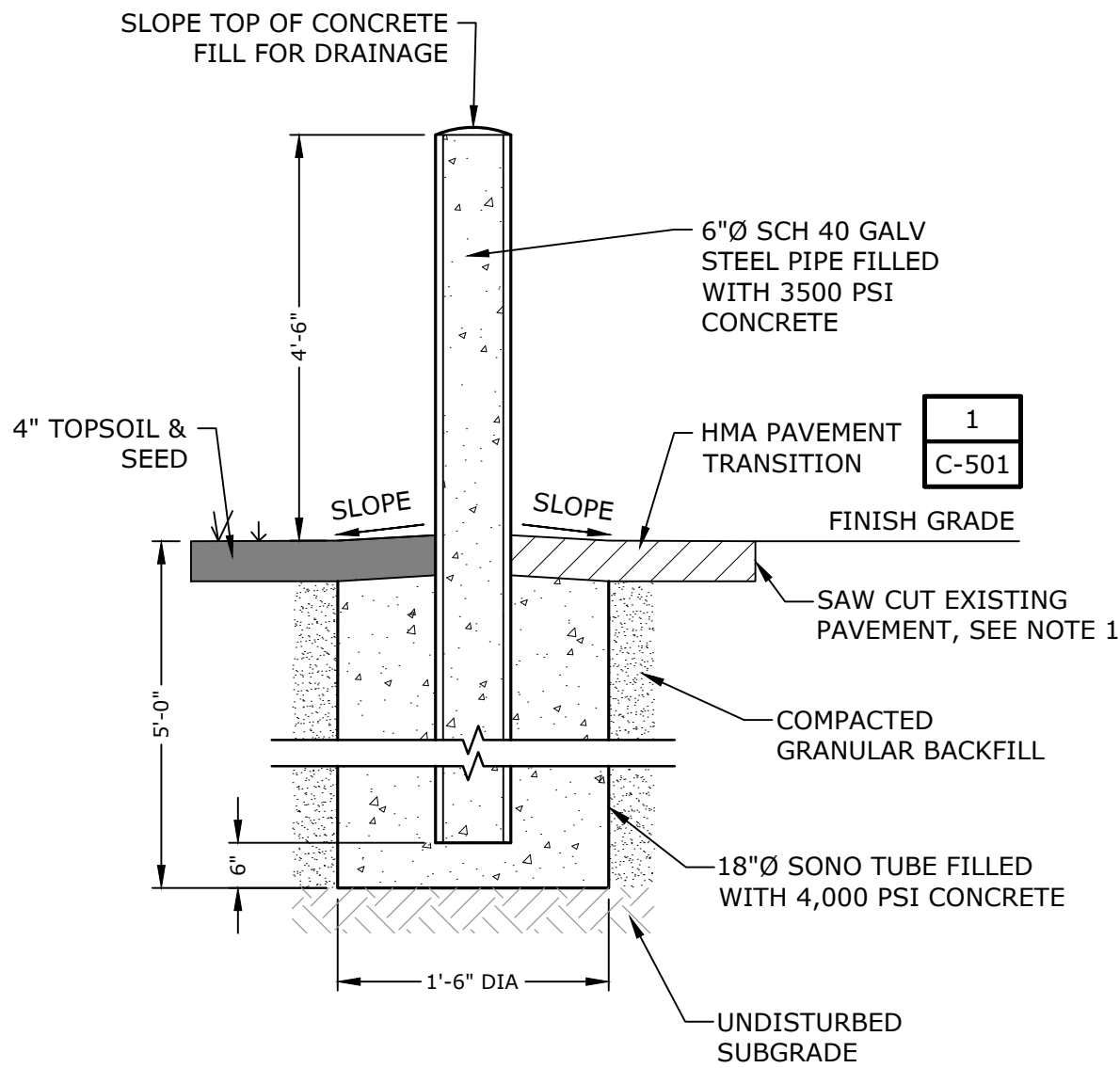


NOTES

- ASPHALT EMULSION TACK COAT: NYSDOT SECTION 702, TABLE 702-9, MATERIAL DESIGNATION 702-90.
- PLACE SUBBASE IN 12" MAXIMUM LIFTS COMPACTED TO 92% DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR LABORATORY TEST (ASTM D1557).

HMA PAVEMENT REPAIR

DETAIL	1
NO SCALE	C-102

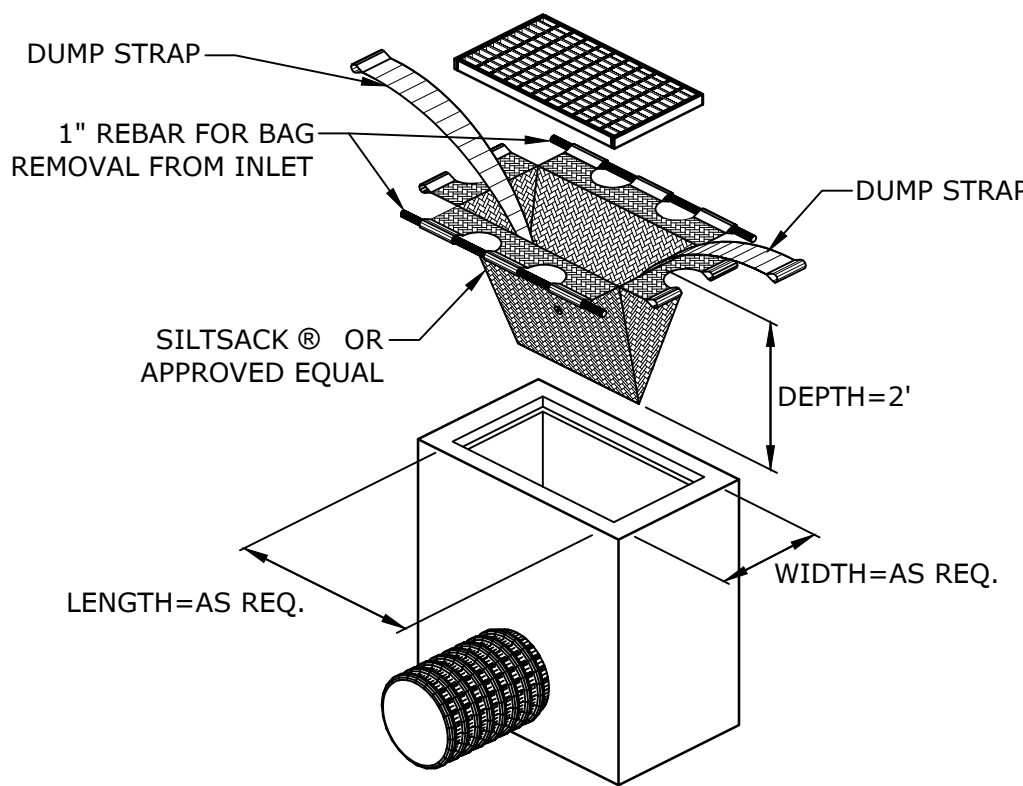


NOTES

- CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT BEFORE REMOVING EXISTING BOLLARDS OR EXCAVATING FOR NEW BOLLARD FOUNDATIONS.
- PROVIDE YELLOW VINYL BOLLARD COVER AS MANUFACTURED BY IDEAL SHIELD, OR APPROVED EQUAL.

TYPICAL BOLLARD DETAIL

DETAIL	2
NO SCALE	C-102



NOTES

- SILTSACK MANUFACTURED BY: ACF ENVIRONMENTAL
2831 CARDWELL ROAD
RICHMOND, VIRGINIA 23237

INLET PROTECTION - SILTSACK ®

DETAIL	3
NO SCALE	C-102